

RECORDING REQUESTED BY AND  
WHEN RECORDED MAIL TO:

Ian Faulds  
LDC, Inc.  
14201 NE 200<sup>th</sup> St. #100  
Woodinville, WA 98072

---

## DECLARATION OF COVENANT FOR MAINTENANCE AND INSPECTION OF FLOW CONTROL BMPS

Grantor: Larry, Betty, and Krista Silver

Grantee: City of Lake Forest Park

Legal Description: SE ¼ SE 1/4, SEC 3, TWN 26 N, RGE 4 E, W.M.

Additional Legal(s): See Exhibit A

Assessor's Tax Parcel ID#: 4022906142

IN CONSIDERATION of the approved Lake Forest Park short plat permit with Application No. 2015-SP-0003 relating to the real property ("Property") described above, the Grantor(s), the owner(s) in fee of that Property, hereby covenants(covenant) with the City of Lake Forest Park, a political subdivision of the state of Washington, and assigns ("Lake Forest Park" and "the City"), that he/she(they) will observe, consent to, and abide by the conditions and obligations set forth and described in Paragraphs 1 through 8 below with regard to the Property. Grantor(s) hereby grants(grant), covenants(covenant), and agrees(agree) as follows:

1. Grantor(s) or his/her(their) successors in interest and assigns ("Owners") shall retain, uphold, and protect the stormwater management devices, features, pathways, limits, and restrictions, known as flow control best management practices ("BMPs"), shown on the approved Flow Control BMP Site Plan for the Property attached hereto and incorporated herein as Exhibit A "Final Short Plat Map".

2. The Owners shall at their own cost, operate, maintain, and keep in good repair, the Property's BMPs as described in the approved Design and Maintenance Details for each BMP attached hereto and incorporated herein as Exhibit B "Text of Instructions for Basic Dispersion".

3. Lake Forest Park shall provide at least 30 days written notice to the Owners that entry on the Property is planned for the inspection of the BMPs. After the 30 days, the Owners shall allow Lake Forest Park to enter for the sole purpose of inspecting the BMPs. In lieu of inspection by the City, the Owners may elect to engage a licensed civil engineer registered in the state of Washington who has expertise in drainage to inspect the BMPs and provide a written report describing their condition. If the engineer option is chosen, the Owners shall provide written notice to the Director of the Planning and Building Department ("PBD") within fifteen days of receiving the City's notice of inspection. Within 30 days of giving this notice, the Owners, or the engineer on behalf of the Owners, shall provide the engineer's report to PBD. If the report is not provided in a timely manner as specified above, the City may inspect the BMPs without further notice.

4. If Lake Forest Park determines from its inspection, or from an engineer's report provided in accordance with Paragraph 3, that maintenance, repair, restoration, and/or mitigation work is required for the BMPs, PBD shall notify the Owners of the specific maintenance, repair, restoration, and/or mitigation work (Work) required under Title 9 of the King County Code ("KCC"). PBD shall also set a reasonable deadline for completing the Work or providing an engineer's report that verifies completion of the Work. After the deadline has passed, the Owners shall allow the City access to re-inspect the BMPs unless an engineer's report has been provided verifying completion of the Work. If the work is not completed

properly within the time frame set by PBD, Lake Forest Park may initiate an enforcement action. Failure to properly maintain the BMPs is a violation of KCC Chapter 9.04 and may subject the Owners to enforcement under the KCC, including fines and penalties.

5. Apart from performing routine landscape maintenance, the Owners are hereby required to obtain written approval from PBD before performing any alterations or modifications to the BMPs.

6. Any notice or approval required to be given by one party to the other under the provisions of this Declaration of Covenant shall be effective upon personal delivery to the other party, or after three (3) days from the date that the notice or approval is mailed with delivery confirmation to the current address on record with each Party. The parties shall notify each other of any change to their addresses.

7. This Declaration of Covenant is intended to promote the efficient and effective management of surface water drainage on the Property, and it shall inure to the benefit of all the citizens of Lake Forest Park. This Declaration of Covenant shall run with the land and be binding upon Grantor(s), and Grantor's(s') successors in interest and assigns.

8. This Declaration of Covenant may be terminated by execution of a written agreement by the Owners and Lake Forest Park that is recorded by King County in its real property records.

IN WITNESS WHEREOF, this Declaration of Covenant for the Maintenance and Inspection of Flow Control BMPs is executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_

\_\_\_\_\_  
GRANTOR, owner of the Property

\_\_\_\_\_  
GRANTOR, owner of the Property

\_\_\_\_\_  
GRANTOR, owner of the Property

STATE OF WASHINGTON     )  
COUNTY OF KING         )ss.

On this day personally appeared before me:

\_\_\_\_\_, to me known to be the individual(s) described in and who executed the within and foregoing instrument and acknowledged that they signed the same as their free and voluntary act and deed, for the uses and purposes therein stated.

Given under my hand and official seal this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Printed name  
Notary Public in and for the State of Washington,  
residing at

\_\_\_\_\_  
My appointment expires \_\_\_\_\_

EXHIBIT A:

Silver Short Plat Map with Legal Descriptions

**DECLARATION**

KNOW ALL MEN BY THESE PRESENTS THAT WE THE UNDERSIGNED OWNER(S) OF THE LAND HEREIN DESCRIBED DO HEREBY MAKE A SHORT SUBDIVISION THEREOF PURSUANT TO RCW 58.17.040 AND DECLARE THIS SHORT SUBDIVISION TO BE THE GRAPHIC REPRESENTATION OF THE SAME, AND THAT SAID SHORT SUBDIVISION IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE OWNER(S) IN WITNESS WHEREOF WE HAVE SET OUR HANDS AND SEALS.

\_\_\_\_\_  
KRISTA L. SILVER

\_\_\_\_\_  
LARRY S. SILVER

\_\_\_\_\_  
BETTY C. SILVER

**ACKNOWLEDGMENTS**

STATE OF WASHINGTON )  
 ) SS.  
COUNTY OF KING )

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT AND \_\_\_\_\_, HUSBAND AND WIFE, ARE THE PERSONS WHO APPEARED BEFORE ME AND SAID THAT THEY ACKNOWLEDGED IT TO BE THEIR FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT.

DATED \_\_\_\_\_  
SIGNATURE OF NOTARY PUBLIC \_\_\_\_\_  
PRINTED NAME \_\_\_\_\_  
TITLE \_\_\_\_\_  
RESIDING AT \_\_\_\_\_  
MY APPOINTMENT EXPIRES \_\_\_\_\_

STATE OF WASHINGTON )  
 ) SS.  
COUNTY OF KING )

I CERTIFY THAT I KNOW OR HAVE SATISFACTORY EVIDENCE THAT \_\_\_\_\_ IS THE PERSON WHO APPEARED BEFORE ME AND SAID THAT THEY ACKNOWLEDGED IT TO BE THEIR FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES MENTIONED IN THE INSTRUMENT.

DATED \_\_\_\_\_  
SIGNATURE OF NOTARY PUBLIC \_\_\_\_\_  
PRINTED NAME \_\_\_\_\_  
TITLE \_\_\_\_\_  
RESIDING AT \_\_\_\_\_  
MY APPOINTMENT EXPIRES \_\_\_\_\_

**APPROVALS**

CITY OF LAKE FOREST PARK PLANNING DEPARTMENT  
EXAMINED AND APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
STEVE BENNETT, PLANNING DIRECTOR

KING COUNTY DEPARTMENT OF ASSESSMENTS:  
EXAMINED AND APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
KING COUNTY ASSESSOR

\_\_\_\_\_  
DEPUTY KING COUNTY ASSESSOR

**RECORDING CERTIFICATE**

FILED FOR RECORD AT THE REQUEST OF \_\_\_\_\_ THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AT \_\_\_\_\_ MINUTES PAST \_\_\_\_\_ M. AND RECORDED IN VOLUME \_\_\_\_\_ OF PLATS, PAGE(S) \_\_\_\_\_ UNDER AUDITOR'S FILE NO. \_\_\_\_\_ RECORDS OF KING COUNTY, WASHINGTON.

\_\_\_\_\_  
MANAGER

BY: \_\_\_\_\_  
SUPT. OF RECORDS

**PROJECT INFORMATION**

SITE ADDRESS: 5020 NE 187TH STREET  
LAKE FOREST PARK, WA 98155  
5027 NE 188TH STREET  
LAKE FOREST PARK, WA 98155

TAX PARCELS: 4022906165, 4022906142  
SITE AREA: 37,298 SF, 0.86 AC  
EXISTING USE: SINGLE FAMILY RESIDENTIAL  
PROPOSED USE: 3 - SINGLE FAMILY LOTS  
CURRENT ZONING: RS-7200

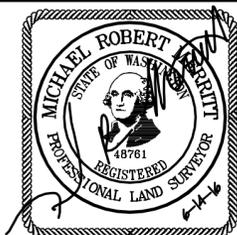
**LAND SURVEYOR'S CERTIFICATE**

THIS SHORT SUBDIVISION CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT AT THE REQUEST OF LARRY SILVER IN SEPTEMBER, 2015.

*[Signature]*

6-14-16  
DATE

MICHAEL R. MERRITT, PROFESSIONAL LAND SURVEYOR  
STATE OF WASHINGTON CERTIFICATE NO. 48761



**LDC**  
THE CIVIL ENGINEERING GROUP

14201 NE 200th St., #100  
Woodinville, WA 98072

www.LDCcorp.com

Engineering  
Structural  
Planning  
Survey

Ph. 425.806.1869  
Fx. 425.482.2893

LAKE FOREST PARK SHORT PLAT NO. FSP \_\_\_\_\_

**SILVER SHORT PLAT**

SE 1/4 SE 1/4, SEC 3, TWN 26 N, RGE 4 E, W.M.  
CITY OF LAKE FOREST PARK, KING COUNTY, STATE OF WASHINGTON

DRAWN BY:	DATE:	DRAWING FILE NAME:	SCALE:	JOB NUMBER:
SAG	6-14-16	14-181SV-FP	N/A	14-181

**ORIGINAL LEGAL DESCRIPTION**

WFG NATIONAL TITLE INSURANCE COMPANY  
ORDER NUMBER: 00643126; JUNE 1, 2016

LOT 16 IN BLOCK 12 OF FIRST ADDITION TO LAKE FOREST PARK, AS PER PLAT RECORDED IN VOLUME 20 OF PLATS, PAGE 82, RECORDS OF KING COUNTY AUDITOR;

EXCEPT THE NORTH 130 FEET THEREOF;

AND EXCEPT THE SOUTH 115 FEET OF THE WEST 70.00 FEET THEREOF;

TOGETHER WITH THE NORTH 272 FEET OF LOT 17 IN BLOCK 12 OF FIRST ADDITION TO LAKE FOREST PARK, AS PER PLAT RECORDED IN VOLUME 20 OF PLATS, PAGE 82, RECORDS OF KING COUNTY AUDITOR;

EXCEPT THE NORTH 30.00 FEET CONVEYED TO KING COUNTY FOR ROAD BY DEED RECORDED UNDER AUDITOR'S FILE NO. 6243726;

AND EXCEPT THE FOLLOWING DESCRIBED PARCEL:

BEGINNING AT THE NORTHWEST CORNER OF THE ABOVE DESCRIBED PARCEL, SAID POINT BEING ON THE SOUTHERLY RIGHT-OF-WAY MARGIN OF NE 188TH STREET; THENCE SOUTH 01°45'13" WEST ALONG THE WEST LINE OF ABOVE SAID PARCEL, A DISTANCE OF 100.00 FEET; THENCE SOUTH 88°14'47" EAST, A DISTANCE OF 49.00 FEET TO THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 28.00 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", FOR AN ARC LENGTH OF 43.98 FEET; THENCE NORTH 01°45'13" EAST, A DISTANCE OF 72.04 FEET TO THE SOUTHERLY RIGHT-OF-WAY MARGIN OF NE 188TH STREET; THENCE NORTH 88°16'22" WEST ALONG SAID SOUTHERLY RIGHT-OF-WAY MARGIN, A DISTANCE OF 77.00 FEET TO THE POINT OF BEGINNING;

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

**PROPOSED LEGAL DESCRIPTION**

LOT 1:

A PORTION OF ADJUSTED PARCEL B AS PER THE CITY OF LAKE FOREST LOT LINE ADJUSTMENT NO. 2015-LL-0006 AS RECORDED UNDER RECORDING NO. 20160523900024, KING COUNTY, WASHINGTON, BEING MORE PARTICULARLY DESCRIBED AS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 16 OF BLOCK 12 OF THE FIRST ADDITION TO LAKE FOREST PARK, VOLUME 20 OF PLATS, PAGE 82, AS RECORDED UNDER RECORDING NO. 19120716817234, KING COUNTY, WASHINGTON, ALSO BEING THE NORTHERLY RIGHT OF WAY MARGIN OF NE 187TH ST.

THENCE SOUTH 89°24'47" EAST ALONG SAID RIGHT OF WAY MARGIN, A DISTANCE OF 30.02 FEET TO THE WEST LINE OF SAID PARCEL B;  
THENCE NORTH 01°43'33" EAST ALONG THE WEST LINE OF SAID PARCEL B, A DISTANCE OF 115.02 FEET TO THE SOUTH LINE OF SAID PARCEL B;  
THENCE NORTH 89°24'47" WEST ALONG THE SOUTH LINE OF SAID PARCEL B, A DISTANCE OF 70.01 FEET TO THE WEST LINE OF SAID PARCEL B;  
THENCE NORTH 01°43'33" EAST ALONG THE WEST LINE OF SAID PARCEL B, A DISTANCE OF 112.56 FEET;  
THENCE SOUTH 88°16'22" EAST, A DISTANCE OF 100.12 FEET;  
THENCE SOUTH 01°45'13" WEST, A DISTANCE OF 225.59 FEET TO THE NORTHERLY RIGHT OF WAY MARGIN OF NE 187TH ST. AND POINT OF BEGINNING.

LOT 2:

A PORTION OF ADJUSTED PARCEL B AS PER THE CITY OF LAKE FOREST LOT LINE ADJUSTMENT NO. 2015-LL-0006 AS RECORDED UNDER RECORDING NO. 20160523900024, KING COUNTY, WASHINGTON, BEING MORE PARTICULARLY DESCRIBED AS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 16 OF BLOCK 12 OF THE FIRST ADDITION TO LAKE FOREST PARK, VOLUME 20 OF PLATS, PAGE 82, AS RECORDED UNDER RECORDING NO. 19120716817234, KING COUNTY, WASHINGTON, ALSO BEING THE NORTHERLY RIGHT OF WAY MARGIN OF NE 187TH ST.

THENCE NORTH 01°45'13" EAST, A DISTANCE OF 225.59 FEET TO THE POINT OF BEGINNING;  
THENCE NORTH 88°16'22" WEST, A DISTANCE OF 100.12 FEET TO THE WEST LINE OF SAID PARCEL B;  
THENCE NORTH 01°43'33" EAST ALONG THE WEST LINE OF SAID PARCEL B, A DISTANCE OF 60.00 FEET TO THE NORTH LINE OF SAID PARCEL B;  
THENCE SOUTH 88°16'22" EAST ALONG THE NORTH LINE OF SAID PARCEL B; A DISTANCE OF 100.15 FEET;  
THENCE CONTINUING ALONG THE NORTH LINE OF SAID PARCEL B SOUTH 88°14'47" EAST, A DISTANCE OF 25.00 FEET;  
THENCE SOUTH 01°45'13" WEST, A DISTANCE OF 18.00 FEET;  
THENCE NORTH 88°14'47" WEST, A DISTANCE OF 5.00 FEET;  
THENCE SOUTH 01°45'13" WEST, A DISTANCE OF 41.99 FEET;  
THENCE NORTH 88°16'22" WEST, A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING.

**PROPOSED LEGAL DESCRIPTION (CONTINUED)**

LOT 2 (CONTINUED)

INCLUDED WITHIN LOT 2 IS A TREE TRACT BEING MORE PARTICULARLY DESCRIBED AS;

THE NORTH 20.00 FEET OF THE EAST 100.00 FEET OF SAID LOT 2.

LOT 3:

A PORTION OF ADJUSTED PARCEL B AS PER THE CITY OF LAKE FOREST LOT LINE ADJUSTMENT NO. 2015-LL-0006 AS RECORDED UNDER RECORDING NO. 20160523900024, KING COUNTY, WASHINGTON, BEING MORE PARTICULARLY DESCRIBED AS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 16 OF BLOCK 12 OF THE FIRST ADDITION TO LAKE FOREST PARK, VOLUME 20 OF PLATS, PAGE 82, AS RECORDED UNDER RECORDING NO. 19120716817234, KING COUNTY, WASHINGTON, ALSO BEING THE NORTHERLY RIGHT OF WAY MARGIN OF NE 187TH ST.

THENCE NORTH 01°45'13" EAST ALONG THE EAST LINE OF SAID PARCEL B, A DISTANCE OF 143.59 FEET TO THE POINT OF BEGINNING;  
THENCE NORTH 01°45'13" EAST, A DISTANCE OF 82.00 FEET;  
THENCE SOUTH 88°16'22" EAST, A DISTANCE OF 20.00 FEET;  
THENCE NORTH 01°45'13" EAST, A DISTANCE OF 41.99 FEET;  
THENCE SOUTH 88°14'47" EAST, A DISTANCE OF 29.00 FEET TO THE BEGINNING OF A CURVE THE RIGHT HAVING A RADIUS OF 28.00 FEET;  
THENCE CONTINUING ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00" FOR AN ARC LENGTH OF 43.98 FEET;  
THENCE SOUTH 01°45'13" WEST, A DISTANCE OF 8.00 FEET;  
THENCE SOUTH 88°14'47" EAST, A DISTANCE OF 23.00 FEET TO THE EAST LINE OF SAID PARCEL B;  
THENCE SOUTH 01°45'13" WEST ALONG THE EAST LINE OF SAID PARCEL B, A DISTANCE OF 87.95 FEET TO THE SOUTH LINE OF SAID PARCEL B;  
THENCE NORTH 88°16'22" WEST ALONG THE SOUTH LINE OF SAID PARCEL B, A DISTANCE OF 100.00 FEET TO THE POINT OF BEGINNING.

TRACT A:

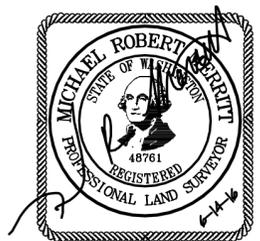
A PORTION OF ADJUSTED PARCEL B AS PER THE CITY OF LAKE FOREST LOT LINE ADJUSTMENT NO. 2015-LL-0006 AS RECORDED UNDER RECORDING NO. 20160523900024, KING COUNTY, WASHINGTON, BEING MORE PARTICULARLY DESCRIBED AS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 16 OF BLOCK 12 OF THE FIRST ADDITION TO LAKE FOREST PARK, VOLUME 20 OF PLATS, PAGE 82, AS RECORDED UNDER RECORDING NO. 19120716817234, KING COUNTY, WASHINGTON, ALSO BEING THE NORTHERLY RIGHT OF WAY MARGIN OF NE 187TH ST.

THENCE NORTH 01°45'13" EAST, A DISTANCE OF 225.59 FEET;  
THENCE SOUTH 88°16'22" EAST, A DISTANCE OF 20.00 FEET;  
THENCE NORTH 01°45'13" EAST, A DISTANCE OF 41.99 FEET;  
THENCE SOUTH 88°14'47" EAST, A DISTANCE OF 5.00 FEET TO THE POINT OF BEGINNING;  
THENCE NORTH 01°45'13" EAST, A DISTANCE OF 18.00 FEET TO THE NORTH LINE OF SAID PARCEL B;  
THENCE SOUTH 88°14'47" EAST ALONG THE NORTH LINE OF SAID PARCEL B, A DISTANCE OF 24.00 FEET TO THE BEGINNING OF A CURVE THE LEFT HAVING A RADIUS OF 28.00 FEET;  
THENCE CONTINUING ALONG THE NORTH LINE OF SAID PARCEL B, ALSO BEING THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 90°00'00" FOR AN ARC LENGTH OF 43.98 FEET;  
THENCE NORTH 01°45'13" EAST ALONG THE WEST LINE OF SAID PARCEL B, A DISTANCE OF 72.04 FEET TO THE SOUTHERLY RIGHT OF WAY MARGIN OF NE 188TH ST.;  
THENCE SOUTH 88°16'22" EAST ALONG SAID RIGHT OF WAY MARGIN, A DISTANCE OF 23.00 FEET TO THE EAST LINE OF SAID PARCEL B;  
THENCE SOUTH 01°45'13" WEST ALONG THE EAST LINE OF SAID PARCEL B; A DISTANCE OF 154.05 FEET;  
THENCE NORTH 88°14'47" WEST; A DISTANCE OF 23.00 FEET;  
THENCE NORTH 01°45'13" EAST; A DISTANCE OF 8.00 FEET TO THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 28.00 FEET;  
THENCE CONTINUING ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00" FOR AN ARC LENGTH OF 43.98 FEET;  
THENCE NORTH 88°14'47" WEST, A DISTANCE OF 24.00 FEET TO THE POINT OF BEGINNING

**NOTES AND EASEMENTS**

- TRACT 'A' IS A PRIVATE INGRESS, EGRESS, AND UTILITY TRACT FOR THE USE OF THE OWNERS OF LOTS 2 AND 3, AND THEIR SUCCESSORS AND ASSIGNS. THE OWNERS OF LOTS 2 AND 3 WITHIN THIS SHORT PLAT SHALL HAVE AN EQUAL AND UNDIVIDED OWNERSHIP INTEREST IN TRACT 'A', AND AN EQUAL AND UNDIVIDED RESPONSIBILITY FOR THE MAINTENANCE OF SAID TRACT.
- COVENANTS, CONDITIONS AND RESTRICTIONS, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, RESERVATIONS, EASEMENTS OR OTHER SERVITUDES, IF ANY DISCLOSED BY THE RECORDED PLAT OF FOREST PARK 1ST ADDITION. (NOT PLOTTABLE)
- RIGHT TO MAKE NECESSARY SLOPES FOR CUTS OR FILLS UPON THE LAND HEREIN DESCRIBED AS GRANTED TO KING COUNTY BY DEED RECORDED UNDER RECORDING NO. 6243726. (NOT PLOTTABLE)
- COVENANTS, CONDITIONS AND RESTRICTIONS, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, RESERVATIONS, EASEMENTS OR OTHER SERVITUDES, IF ANY DISCLOSED BY THE BOUNDARY LINE ADJUSTMENT RECORDED UNDER RECORDING NUMBER 20160523900024. (NOT PLOTTABLE)



**LDC**  
THE CIVIL ENGINEERING GROUP

Engineering  
Structural  
Planning  
Survey

14201 NE 200th St, #100  
Woodinville, WA 98072  
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SHORT PLAT NO. FSP \_\_\_\_\_

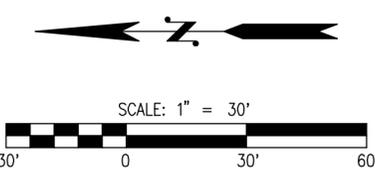
**SILVER SHORT PLAT**

SE 1/4 SE 1/4, SEC 3, TWN 26 N, RGE 4 E, W.M.  
CITY OF LAKE FOREST PARK, KING COUNTY, STATE OF WASHINGTON

DRAWN BY:	DATE:	DRAWING FILE NAME:	SCALE:	JOB NUMBER:
SAG	6-14-16	14-181SV-FP	N/A	14-181

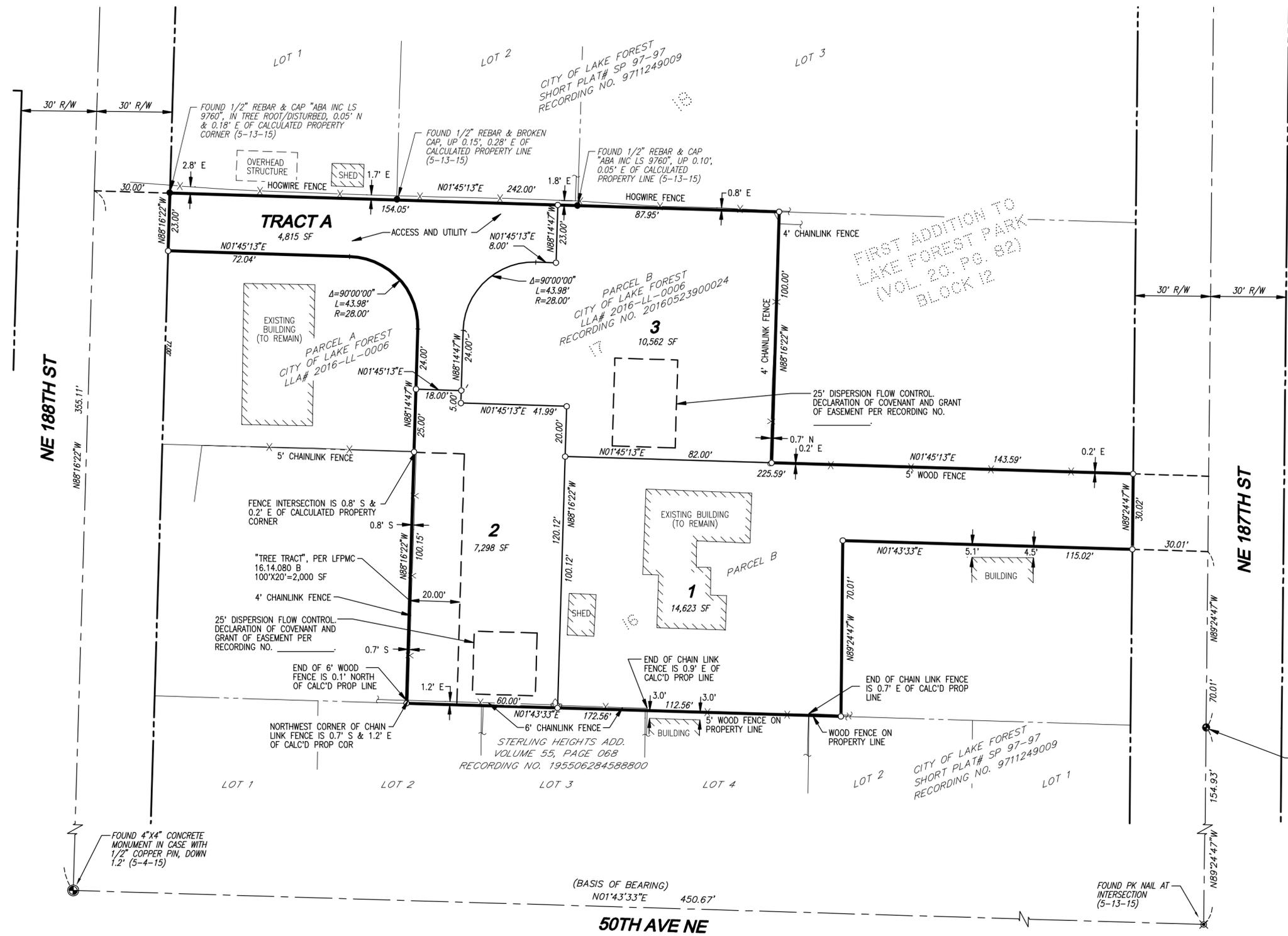
A PORTION OF THE SE 1/4 OF THE SE 1/4, SEC 3, TWN 26 N, RGE 4 E, W.M., KING COUNTY, WASHINGTON

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**SURVEY INSTRUMENTATION**

SURVEYING PERFORMED IN CONJUNCTION WITH THIS MAPPING UTILIZED THE FOLLOWING EQUIPMENT AND PROCEDURES:  
 5" ROBOTIC TOTAL STATION MAINTAINED TO MANUFACTURE'S SPECIFICATIONS AS REQUIRED BY WAC-332-130-100.  
 PROCEDURE USED: FIELD TRAVERSE WITH ACCURACY MEETING OR EXCEEDING THE REQUIREMENTS OF WAC-332-130-090.



**BASIS OF BEARING**

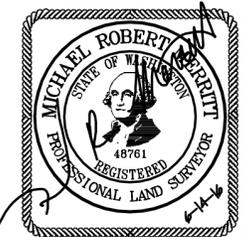
THE MONUMENTED CENTERLINE OF 50TH AVE NE  
 BEARING = N01°43'33"E

**REFERENCES**

FIRST ADDITION TO LAKE FOREST PARK  
 (VOL. 20, PG. 82)  
 STERLING HEIGHTS ADDITION  
 (VOL. 55, PG. 68)  
 KING COUNTY SHORT PLAT NO. 58950097  
 (REC. NO. 9107189007)

**LEGEND**

- FOUND REBAR & CAP AS NOTED
- SET REBAR & CAP "LDC 48761"
- ⊙ MONUMENT FOUND
- ⊕ QUARTER CORNER
- COR CORNER
- PROP PROPERTY
- BSBL BUILDING SET BACK LINE
- WDF WOOD FENCE
- CALC'D CALCULATED
- ESMT EASEMENT
- ADJ ADJACENT



**LDC**  
 THE CIVIL ENGINEERING GROUP  
 Engineering Structural Planning Survey  
 14201 NE 200th St, #100 Woodinville, WA 98072  
 Ph. 425.806.1869 Fx. 425.482.2893  
 www.LDCcorp.com

SHORT PLAT NO. FSP  
**SILVER SHORT PLAT**  
 SE 1/4 SE 1/4, SEC 3, TWN 26 N, RGE 4 E, W.M.  
 CITY OF LAKE FOREST PARK, KING COUNTY, STATE OF WASHINGTON  
 DRAWN BY: SAG DATE: 6-14-16 DRAWING FILE NAME: 14-181SV-FP SCALE: 1"=30' JOB NUMBER: 14-181

SHEET: 3 OF 3

VOL/Pg

Exhibit B:

Text of Instructions for Basic Dispersion

## □ TEXT OF INSTRUCTIONS FOR BASIC DISPERSION

Your property contains a stormwater management flow control BMP (best management practice) called "basic dispersion," which was installed to mitigate the stormwater quantity and quality impacts of some or all of the impervious surfaces or non-native pervious surfaces on your property. Basic dispersion is a strategy for utilizing any available capacity of onsite vegetated areas to retain, absorb, and filter the runoff from developed surfaces. This flow control BMP has two primary components that must be maintained: (1) the devices that disperse runoff from the developed surfaces and (2) the vegetated area over which runoff is dispersed.

### Dispersion Devices

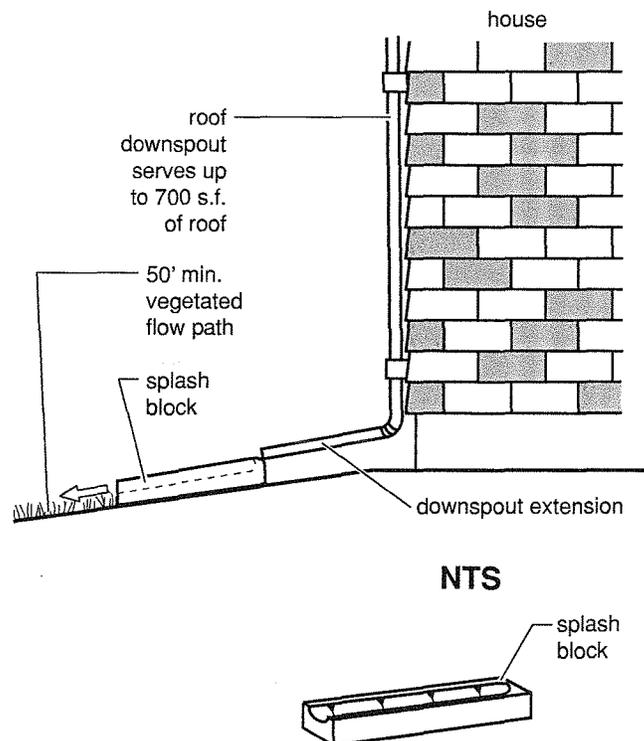
The dispersion devices used on your property include the following as indicated on the flow control BMP site plan: □ splash blocks, □ rock pads, ✕ gravel filled trenches, □ sheet flow. The size, placement, composition, and downstream flowpaths of these devices as depicted by the flow control BMP site plan and design details must be maintained and may not be changed without written approval either from the King County Water and Land Resources Division or through a future development permit from King County.

Dispersion devices must be inspected annually and after major storm events to identify and repair any physical defects. When native soil is exposed or erosion channels are present, the sources of the erosion or concentrated flow need to be identified and mitigated. Concentrated flow can be mitigated by leveling the edge of the pervious area and/or realigning or replenishing the rocks in the dispersion device, such as in rock pads and gravel filled trenches.

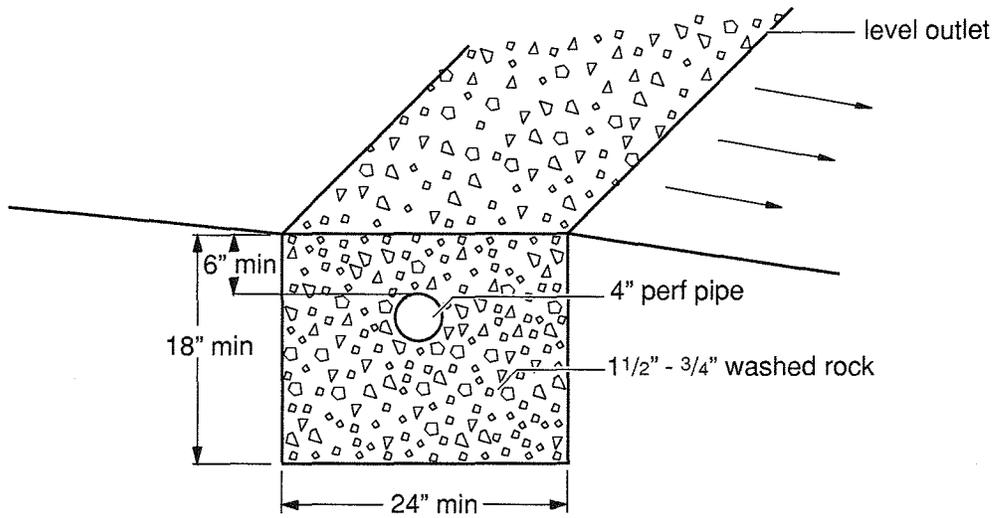
### Vegetated Flowpaths

The vegetated area over which runoff is dispersed must be maintained in good condition free of bare spots and obstructions that would concentrate flows.

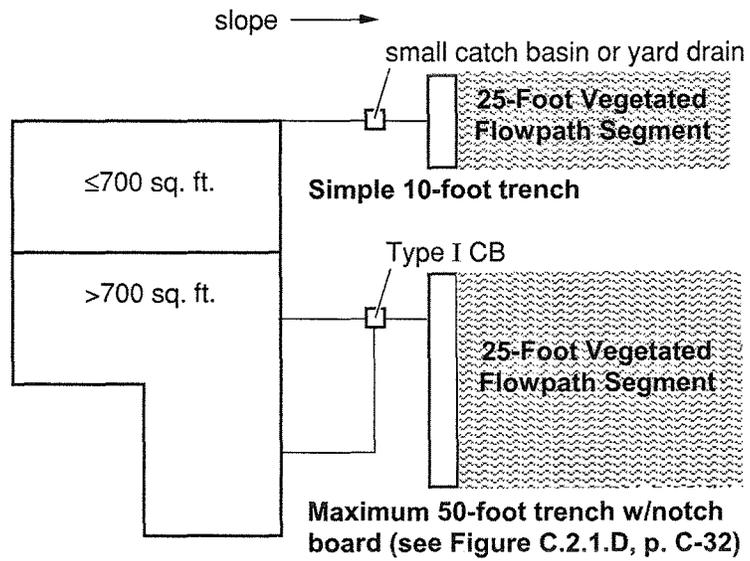
**FIGURE C.2.4.A TYPICAL SPLASHBLOCK FOR BASIC DISPERSION**



**FIGURE C.2.4.B TYPICAL GRAVEL-FILLED DISPERSION TRENCH FOR BASIC DISPERSION**



**TRENCH X-SECTION**  
NTS



**PLAN VIEW OF ROOF**  
NTS